



ADDENDUM TO BID DOCUMENTS

SOLICITATION ITB 2011-12 DE LEONARDIS YOUTH CENTER RENOVATIONS AT ALLEN PARK-PHASE II
ADDENDUM No. 1 BID OPENING DATE October 7, 2011 TODAY'S DATE 9/27/2011
at 2:00pm

To All Bidders:

This addendum is issued to modify the previously issued bid documents and/or given for informational purposes, and is hereby made a part of the bid documents. Please attach this addendum to the documents in your possession and acknowledge receipt of this addendum in the space provided on the bid form.

Modifications

1. The construction time has been revised. Substantial Completion shall be achieved in **one hundred and eighty (180) calendar days** instead of two hundred and seventy (270) calendar days.

Questions and Answers

Q.1: Could you please provide a checklist of forms that are required with the bid proposal for responsiveness.

A.1:

- 5% Bid Bond
- Addenda per Section 1.8
- Professional licenses, certifications for contractor and subcontractor per section 2.6
- Bid Page per section 4.0
- City required forms per section 5.0
- CDBG required forms per Section 6.0

Q.2: The project is scoped as Phase II A & II B. Are both phases bid as a single lump sum?
If not, the bid proposal page has only a single lump sum required?

A.2: Please see attached revised bid page.

Q.3: Detail 2 page A1.00 what does it pertain too?

A.3: Detail 2 on A1.00 pertains to the post and post foundation to be provided on either side of the new gate and portion of new chainlink fence to be installed. Provide a hasp at the new gate. The gate and fence is to be installed next to the new ramp as shown on Sheet A1.02 in the Partial First Floor Plan.

Q.4: Alt. # 1 Windows shown on Detail 14 p A3.02 shows a quantity of 7 windows. Page A1.02 first floor plan only shows 3 window openings. None shown on 2nd floor plan. Please Verify.

A.4: Provide for 7 windows as shown on The South Interior Elevation 14/A3.02.

Q.5: Is there a roofing detail for the new roofing required for the new concrete roof deck? Coping and curbs but no roofing.

A.5: See Specification section 07550 (07 55 52) MODIFIED BITUMEN ROOFING and section 07220 Roof Insulation. Also refer to the structural drawing S-2 for wind pressure requirements to be met; NOA will need to meet required wind load pressures.

Q.6: Page A2.04 shows to box in existing track and structural supports. Is it "D" on A3.03 no # is shown. Please Verify

A.6: Box out the track per Detail 2 on A3.03.

Q.7: Mechanical and Plumbing sheets are labeled "Overall Electrical Plans. Please Verify

A.7: The term "OVERALL" in the title indicates an overall floor plan in lieu of a partial plan; it does not depict all nor most of the existing Mechanical, Plumbing or Electrical devices, fixtures etc. Normally only new items (devices, fixtures, ductwork, etc.) and items that are to be modified or are relevant to the design are shown.

Q.8: Verify roof R values?

A.8: R-Value is to be an average of R 19 see specification section 07220, Roof Insulation.

Q.9: What is the overall permit cost structure? Will the city have an allowance?

A.9: Allowance for the permits specified has been included in revised bid proposal section.

Q.10: Is roof under warranty? What is the product/manufacture warranty? What is the installation warranty? Who is the warranty company?

A.10: The roofer was Laumar Roofing Services (LRS) Inc. The roof is in warranty; the system manufacturer is Tremco; the reroof was completed on May 18, 2010; Tremco provided a warranty and Weatherproof Technologies Inc. provided a service agreement. The warranty is to be maintained and the contractor is responsible for coordinating all work on the roof with the installer and Tremco to retain said roof warranty.

Q.11: Who is the company handling the fire alarm system for Allen Park?

A.11: The control panel is A-1 Fire DS 9400i.

Q.12: Will the building be occupied during renovation?

A.12: The building will not be occupied during the construction. External access to the restroom facilities may occasionally occur.

Q.13: Who do we coordinate to see the building before bidding? And after award for the trash removal flow, etc?

A.13 Send requests prior to bid opening are to be directed to bids@citynmb.com. After award and execution of contract, matter will be communicated to the project manager.

Q.14: The split system AC unit specified is shown as 208/230 volt with a built in condensate pump. The unit specified actually comes as 115 volt and requires an in-line condensate pump. Please Verify

A.14: Provide split system per attached schedule as shown in revised M1.02 drawing.

Clarifications

1. See revised A1.00 herein attached, the existing Curved Balance Beam is to be removed in its entirety and a new Curved Balance Beam of the same dimensions, thickness of material and quality as the existing is to be installed where shown on sheet A1.00.
2. See plumbing drawings for indications on the relocation of the floor elevation of the clean outs located in the exterior concrete ramp.
3. See the revised second floor plan A2.03 for the following: the details cut thru the existing railing is changed to detail 7 on A3.02 and the one window opening that would be cut thru is shown next to door 203-please note that a total of 7 window openings are to be provided for see question 4.
4. See attached specification section 07170 Bentonite Waterproofing, added to the documents.
5. See partial Table of Content revised to indicate two additional specification sections.

Reviewed by:



Chief Procurement Officer

Acknowledged by:

Contractor

Authorized Representative (<i>Printed</i>)

Title

Signature

Date

**SECTION 4.0 BID PAGE
BID PROPOSAL FORM**

Note: Number of Calendar days for substantial completion: One hundred eight days (180) days

**DE LEONARDIS YOUTH CENTER AT ALLEN PARK – PHASE II
(1770 N.E. 162nd Street, North Miami Beach, Florida)
CITY OF NORTH MIAMI BEACH, FLORIDA**

Gentlemen:

The undersigned, as Bidder, hereby declares that the only person or persons interested in the Proposal, as principal or principals, is or are named herein and that no other person than herein mentioned has any interest in the Proposal of the Contract to which the work pertains; that this Proposal is made without connection or arrangement with any other person, company, or parties making a bid or proposal and that the Proposal is in all respects fair and made in good faith without collusion or fraud.

The Bidder further declares that he has examined the site of the work and that from personal knowledge and experience, or that he has made sufficient observations of the conditions of the proposed Project Site to satisfy himself that such site is a correct and suitable one for this work and he assumes full responsibility therefore, that he has examined the Drawings and Specifications for the work and from his own experience or from professional advice that the Drawings, including bid item quantities, and Specifications are sufficient for the work to be done and he has examined the other Contractual Documents relating thereto, including the Notice of Bid Invitation, Instructions to Bidders, Bid Proposal Form, Contract, General Conditions, Supplementary Conditions, and Special Conditions, Technical Specifications, Drawings and has read all addenda prior to the receipt of bids, and that he has satisfied himself fully, relative to all matters and conditions with respect to the work to which this Proposal pertains. The Bidder proposes and agrees, if this Proposal is accepted, to contract with the City of North Miami Beach (Owner), in the form of contract specified, to furnish all necessary materials, all equipment, all necessary machinery, tools, apparatus, means of transportation, and labor necessary to complete the work specified in the Proposal and the Contract, and called for by the Drawings and Specifications and in the manner specified.

The Bidder further proposes and agrees to comply in all respects with the time limits for commencement and completion of the work as stated in the Contract Form.

The Bidder further agrees that the deductions for liquidated damages, as stated in the Contract Form, constitute fixed, agreed, and liquidated damages to reimburse the Owner for additional costs to the Owner resulting from the work not being completed within the time limit stated in the Contract Form.

Payment Bonds each in the amount of one-hundred percent of the Contract price, within ten (10) consecutive calendar days after written notice being given by the Owner of the award of the Contract, and the undersigned agrees that in case of failure on his part to execute the said Contract and Performance and Payment Bonds within the ten (10) consecutive calendar days after the award of the Contract, the cashier's check or Bid Bond accompanying his bid and the money payable thereon shall be paid to the Owner as liquidation of damages sustained by the Owner; otherwise, the check accompanying the Proposal shall be returned to the undersigned after the Contract is signed and the Performance and Payment Bonds are filed.

The undersigned agrees to accept in full compensation therefore the following lump sum bid price:

Item No. 1 For Bonds and Insurance

\$ _____
 Numerals Written Dollar Amount

Item No. 2. Phase II A -scope as defined on page A0.02 of Bid Plan

\$ _____
 Numerals Written Dollar Amount

Item No 3. Phase II B -scope as defined on page A0.02 of Bid Plan

\$ _____
 Numerals Written Dollar Amount

Item No 4. Permit and Construction Allowance

\$ 25,000 Twenty-five thousand dollars
 Numerals Written Dollar Amount

Base Bid: (Sum of Items 1 through 4 above)

\$ _____
 Numerals Written Dollar Amount

The undersigned agrees to accept in full compensation therefore the following lump sum bid price for each of the following Alternates as indicated in "Section 01230 – Alternates" and herein below:

Alternate No. 1: \$ _____
 Numerals Written Dollar Amount

Alternate No. 2: \$ _____
 Numerals Written Dollar Amount

Alternate No. 3: \$ _____
 Numerals Written Dollar Amount

Bidders Certificate of Competency No. _____ Bidders Occupational Lic. No. _____
Attached hereto is a cashier's check on the _____

_____ Bank of _____

_____ or Bid Bond for the sum of _____

_____ Dollars

(\$ _____), made payable to the City of North Miami Beach, Florida.

_____ L.S.
(Name of Bidder) (Affix Seal)

_____ L.S.
Signature of Officer

_____ L.S.
(Title of Officer)

Address: _____

City: _____ State: _____

The full names and residences of persons and firms interested in the foregoing bid, as principals, are as follows:

Name of the executive who will give personal attention to the work:

DIVISION 02 – SITEWORK

02070 Minor Demolition for Remodeling
02200 Earthwork
02280 Soil Treatment

DIVISION 03 – CONCRETE

03300 Cast-in-Place Concrete

DIVISION 04 – MASONRY

04100 Mortar
04150 Joint Reinforcement
04220 Concrete Unit Masonry

DIVISION 05 – METALS

05500 Metal Fabrications
05720 Ornamental Aluminum Handrails and Railings

DIVISION 06 – WOOD AND PLASTICS

06100 Carpentry
06300 Wood Treatment

DIVISION 07 – THERMAL AND MOISTURE PROTECTION

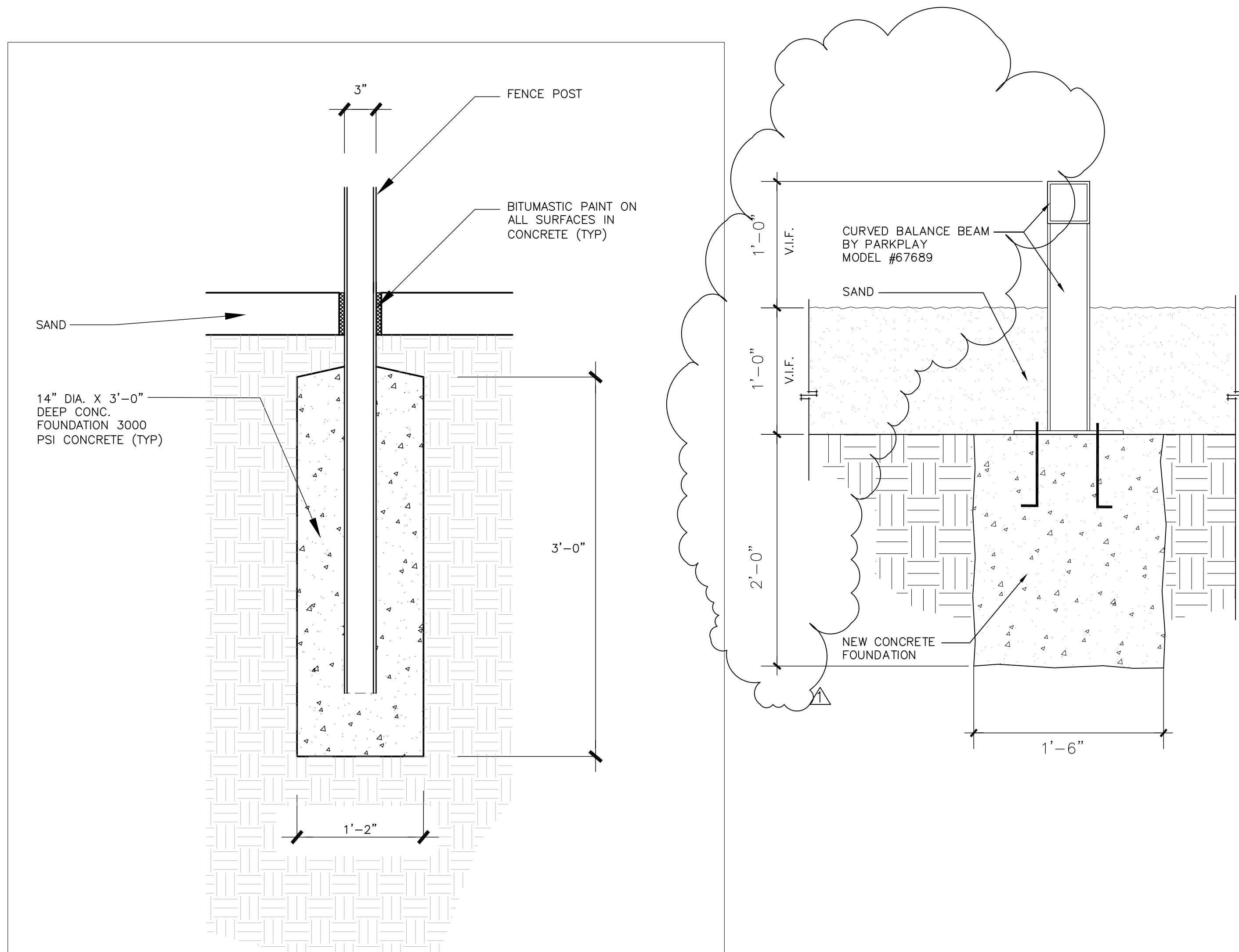
07190 Vapor Barrier
07170 Bentonite Waterproofing
07210 Building Insulation
07220 Roof Insulation
07270 Firestopping and Smoke Barrier Caulking
07550 Modified Bitumen Roofing (Hot Asphalt Applied)
07600 Flashing and Sheet Metal
07631 Gutters and Downspouts
07920 Joint Sealants

DIVISION 08 – DOORS AND WINDOWS

08110 Steel Doors and Frames
08710 Door Hardware
08800 Glass and Glazing
08810 Fire Rated Glass and Framing (Alternate No. 1)

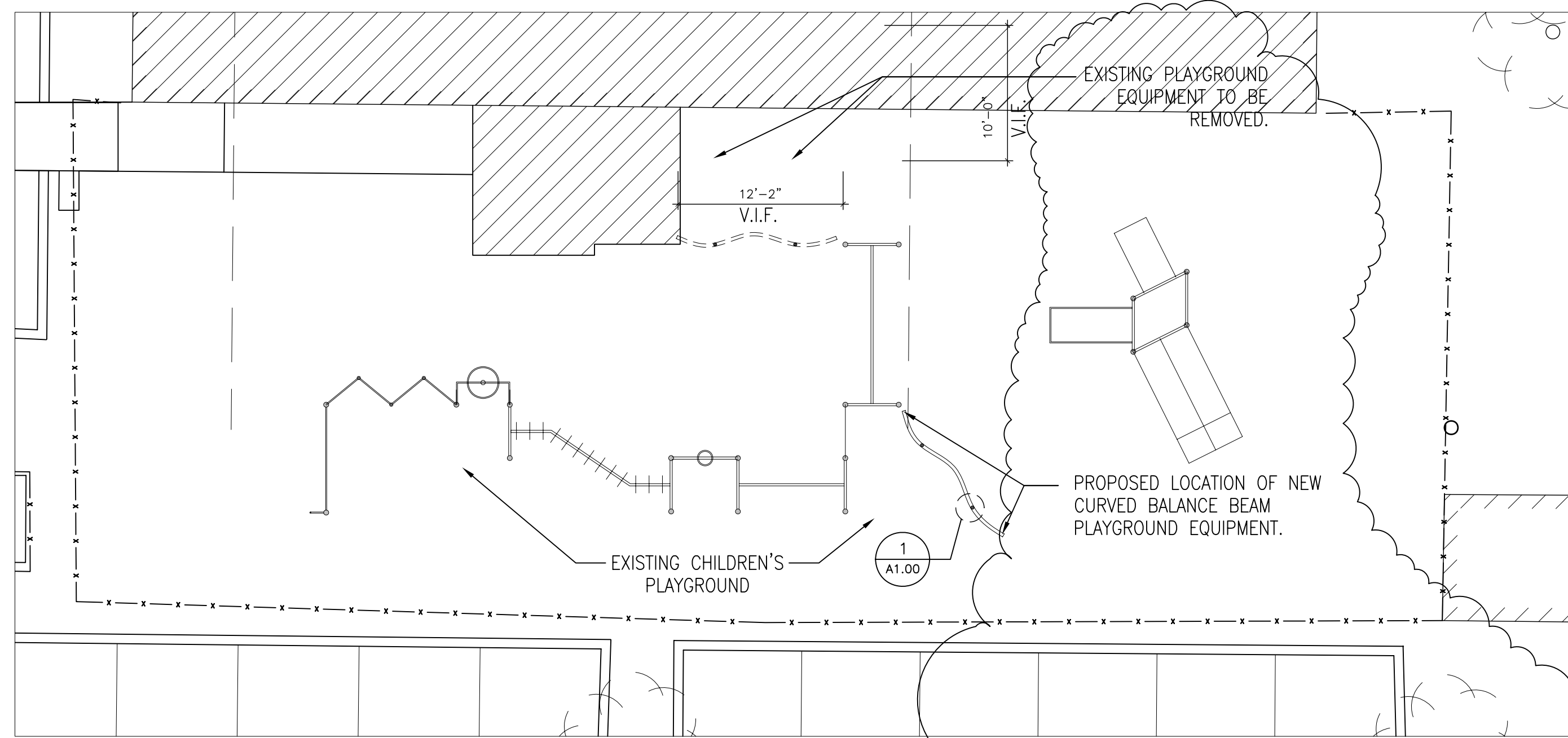
DIVISION 09 – FINISHES

09220 Portland Cement Plaster-Stucco
09250 Gypsum Board and Drywall Framing

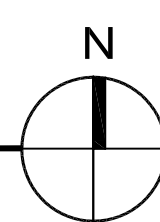


DETAIL 2
SCALE: 1 1/2" = 1'-0"
A1.02 A1.00

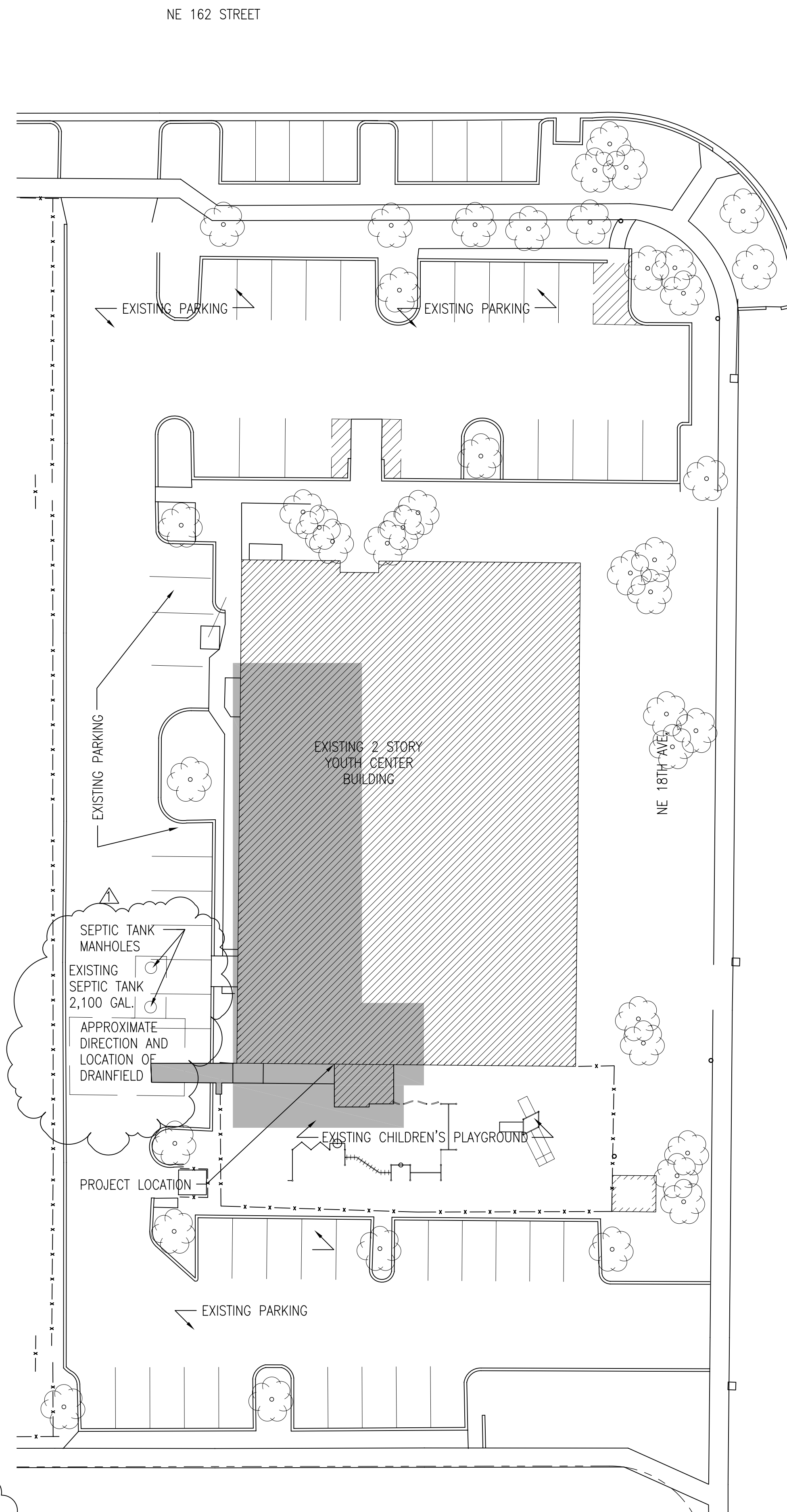
DETAIL 1
SCALE: 1 1/2" = 1'-0"
A1.00 A1.00



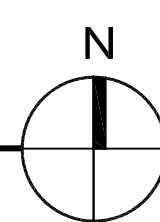
ENLARGED PLAYGROUND PLAN
SCALE: 1/8" = 1'-0"



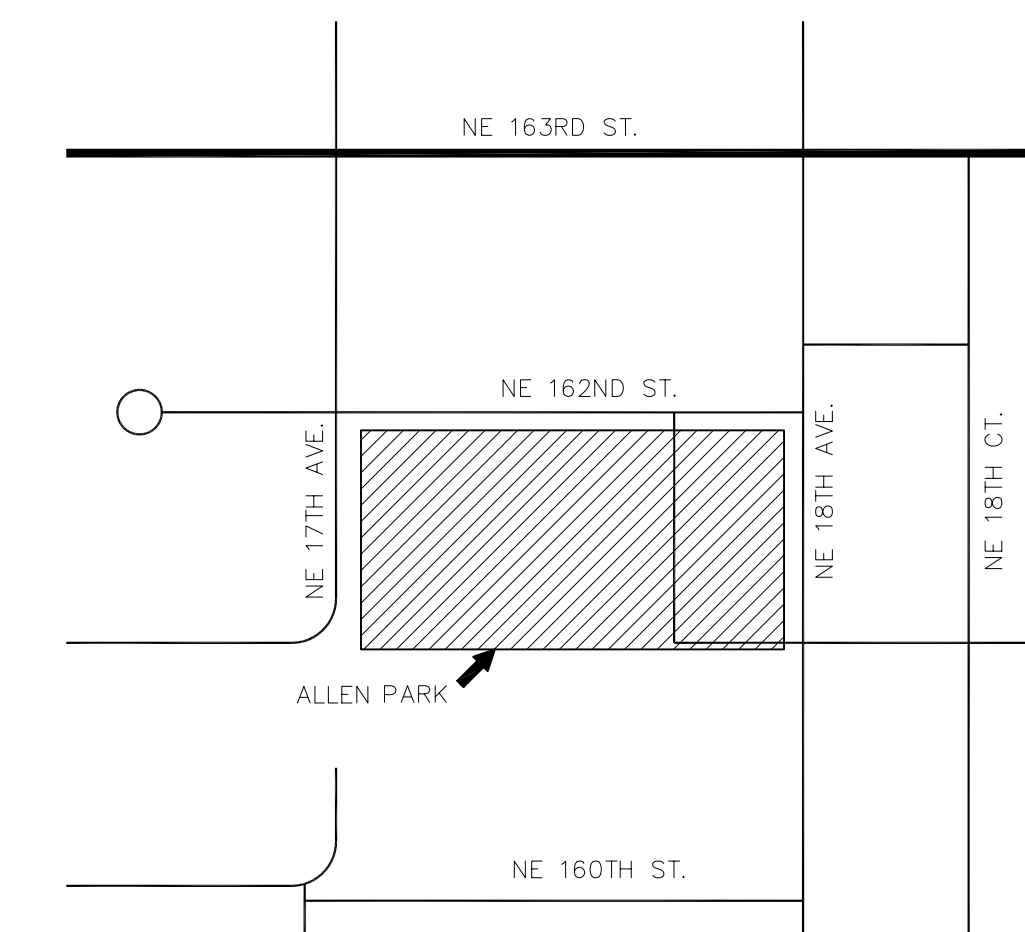
NOTE:
REMOVE EXISTING BALANCE BEAM, INCLUDING ITS FOUNDATION AND REMOVE FROM THE SITE. REFINISH THE GROUND TO MATCH W/EXISTING. INSTALL NEW BALANCE BEAM SIMILAR TO EXISTING OF SAME LENGTH AND PER FOUNDATION DETAIL AS SHOWN OR AS RECOMMENDED BY MANUFACTURER. BALANCE BEAM TO BE INSTALLED PLUM AND STRAIGHT. SHORE AS REQUIRED



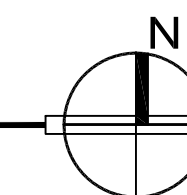
SITE PLAN
SCALE: 1" = 20'-0"



AREA OF WORK



LOCATION PLAN
NTS



CONSULTANTS:

**DE LEONARDIS YOUTH CENTER
RENOVATIONS—PHASE IIA & IIB**
FOR
**CITY OF
NORTH MIAMI BEACH**
1770 NE 162ND STREET, NORTH MIAMI BEACH, FLORIDA 33162
17050 NE 19TH AVE., NORTH MIAMI BEACH, FLORIDA, 33162

THE RUSSELL PARTNERSHIP, INC.
Architecture • Planning • Interior Design
7428 S.W. 48TH STREET, MIAMI, FL. 33155
Phone (305) 663-7301 Fax (305) 663-5411
AAC0001227

FERNANDO CALONES REG.# ARO013485

SEAL

REVISION		
NO.	DATE	BY

RECORD OF REVISION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH ANY WORK.

NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY ARCHITECT.

CLIENT APPROVAL DATE

PREPARED BY: DATE

APPROVED BY: DATE

NO./PERMIT SET 07/01/2011

ISSUED DATE

07009-03A

TRP PROJECT NUMBER

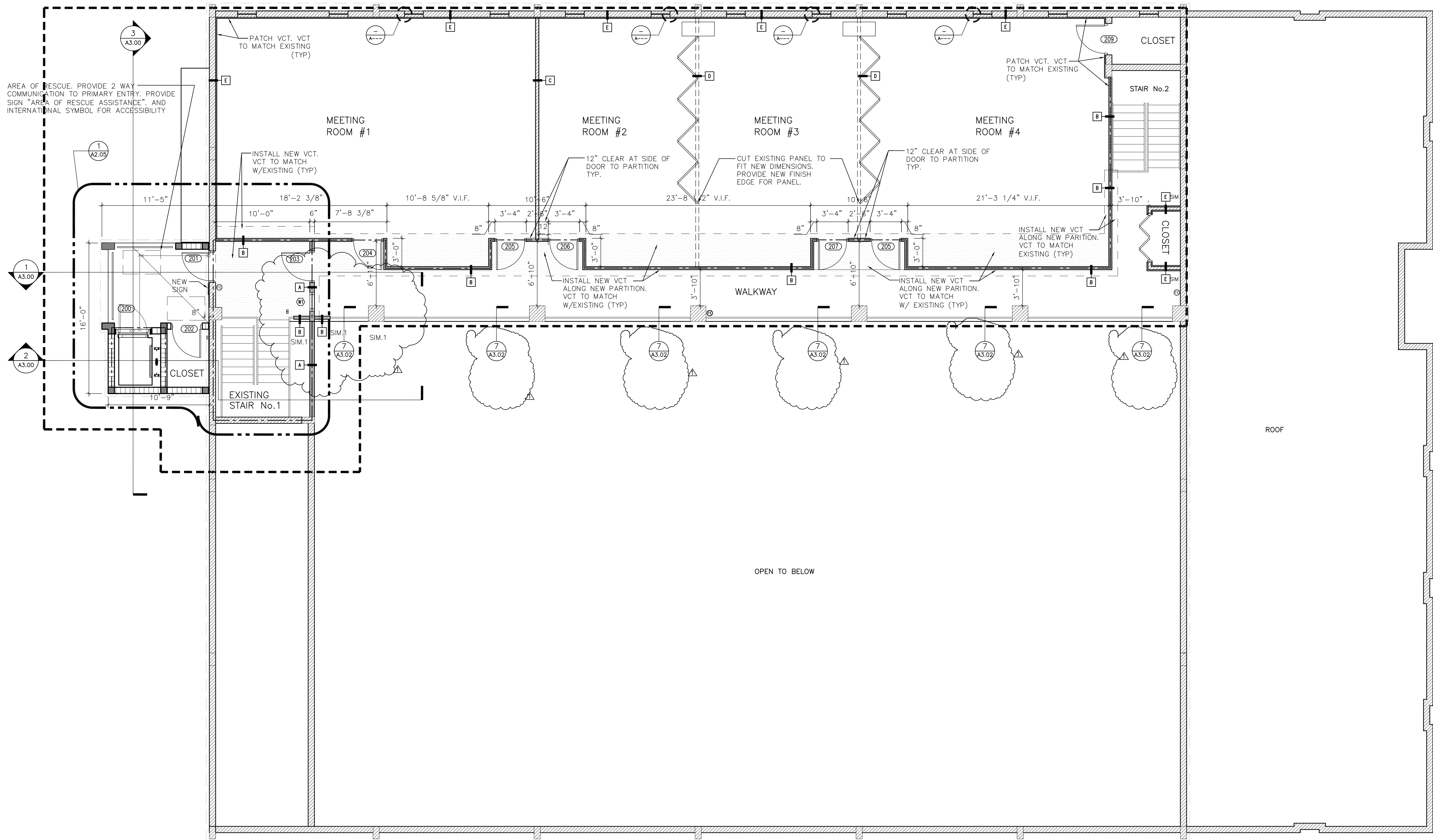
FILE NAME

SHEET INDEX

SITE PLAN

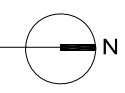
SHEET NUMBER

A1.00



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



LEGEND

- REMOVE EXISTING PARTITIONS, WALLS, FURRING AND CONSTRUCTION, REPAIR AND FINISH / PNT ADJACENT SURFACES TO MATCH EXISTING.
- EXISTING WALL/PARTITION TO REMAIN.
- NEW PARTITIONS
- PROJECT LIMIT LINE
- 1HR. FIRE RATED PARTITION
- AREA OF NEW FLOORING
- AREA OF FLOORING TO BE REMOVED.
- INTERIOR ELEVATION KEY SHEET No.
- ENLARGED PLAN

FINISH FLOOR ELEVATION
0'-0" = 11.64'
AS SHOWN ON SURVEY FOR FINISH FIRST FLOOR.

CONSULTANTS:

**DE LEONARDIS YOUTH CENTER
RENOVATIONS—PHASE IIA & IIB**
1770 NE 162ND STREET, NORTH MIAMI BEACH, FLORIDA 33162
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REVISION

REVISION	DATE	BY

ADDENDUM ONE (1) 9/22/11 EC

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH ANY WORK.
NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY ARCHITECT.

CLIENT APPROVAL _____ DATE _____

PREPARED BY: _____ DATE _____

APPROVED BY: _____ DATE _____

NO. / PERMIT SET 07/01/2011
ISSUED _____ DATE _____

07009-03A
TRP PROJECT NUMBER _____

FILE NAME _____

SHEET INDEX

**SECOND
FLOOR
PLAN**

SHEET NUMBER
A2.03

HVAC GENERAL NOTES:

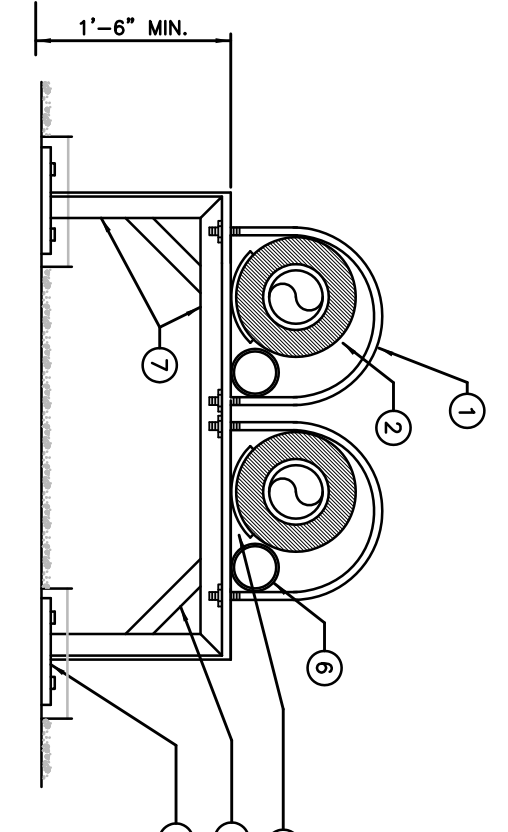
- THE WORK THAT IS TO BE DONE UNDER THIS HEADING INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE AIR CONDITIONING, HEATING AND VENTILATION SYSTEMS SHOWN ON DRAWINGS OR LISTED BELOW.
- THE DRAWINGS ARE GENERALLY DIMENSIONAL; THEY DO NOT SHOW REQUIRED FOR THE INSTALLATION IN THE SPACE ALLOCATED OR FOR COORDINATION WITH OTHER TRADES.
- DRAWINGS ARE NOT TO BE SCALED UNLESS SPECIFIC DIMENSIONS ARE SHOWN. THE CONNECTIONS AND/OR STRUCTURAL LOCATION OF MECHANICAL EQUIPMENT AND APPLIANCES SHALL BE VERIFIED BY THE CONTRACTOR AND NOTATION OF THE DRAWINGS SHALL BE MADE THEREON.
- VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION OF DUCTWORK AND INSTALLATION OF EQUIPMENT AND ACCESSORIES.
- ALL REFRIGERANT PIPING CONNECTIONS SHALL BE MADE AND BALANCE FOR REGULAR HVAC OPERATION AND FOR REQUIRED BUILDING PRESSURIZATION REQUIREMENTS.
- ANY EQUIPMENT OR DEVICE TO REMAIN THAT MAY HAVE TO BE DISCONNECTED BECAUSE OF THE REMOVAL OF ANY OTHER DEVICE MUST BE DISCONNECTED PRIOR TO THE REMOVAL OF THE DEVICE (ELECTRICAL SYSTEMS) AND TESTED FOR CORRECT OPERATION.
- ANY WORK NOT SHOWN ON DRAWINGS OR SPECIFICALLY NOTED IN THE WORK NOTES SHALL BE CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN REVERSE MANNER SHALL BE PROVIDED BY THE CONTRACTOR WITHOUT ADDITIONAL CHARGE.
- COORDINATE SPACE ACCESSIBILITY AND WORKING HOURS REQUIREMENTS WITH OWNER'S REPRESENTATIVE PRIOR TO BEGAINING THIS PROJECT. REQUIREMENTS FOR ACCESSIBILITY TO EXISTING BUILDING SYSTEMS PRESENTLY IN THEIR SPACES BUT WHICH MAY NEED TO BE ACCESSED FOR THIS PROJECT.
- CONTRACTOR SHALL DO HIS OWN CUTTING AND REMOVAL OF ALL WORK RELATED WORK IN ALL LOCATIONS WHERE REQUIRED EXCEPT WHERE OTHERWISE SHOWN ON THE DRAWINGS AND/OR AS SPECIFIED.
- ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, REPAIRS OR REPLACEMENT OF MECHANICAL EQUIPMENT SHALL BE REPAIRS AND REFINISHED AS REQUIRED TO MATCH EXISTING CONDITIONS OR AS DIRECTED BY THE ARCHITECTURAL DRAWINGS AND/OR SPECIFICATIONS.
- DUCTWORK:
 - CONDENSING UNIT SUPPORT FRAME SHALL BE CONSTRUCTED OF 1-1/2" X 4-0" SCHEDULE 40 RIB STEEL CHANNEL WITH 2" X 4" X 1/2" X 1/4" SCHEDULE 40 RIB STEEL CHANNELS BRACED WITH 2" X 4" X 1/2" X 1/4" SCHEDULE 40 RIB STEEL CHANNELS AT 4' ON CENTER. ALL CHANNELS SHALL BE WELDED TO EACH OTHER AND TO THE CONCRETE SLAB. ALL CHANNELS SHALL BE GALVANNEED STEEL WITH GALVANNEED FINISH. ALL CHANNELS SHALL BE WELDED TO EACH OTHER AND TO THE CONCRETE SLAB. ALL CHANNELS SHALL BE GALVANNEED STEEL WITH GALVANNEED FINISH. ALL CHANNELS SHALL BE WELDED TO EACH OTHER AND TO THE CONCRETE SLAB.
 - ALL VENTILATION DUCTWORK SHALL BE GALVANNEED STEEL WITH GALVANNEED FINISH. THE RECOMMENDATIONS SET FORTH IN THE LATEST EDITION OF THE SMACNA DUCTWORK HANDBOOK SHALL BE USED AS A GUIDE FOR ALL ASPECTS OF DUCTWORK DESIGN AND INSTALLATION. ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND SHALL ALSO FOLLOW THE SMACNA DUCTWORK HANDBOOK. ALL DUCTWORK SHALL BE GALVANNEED STEEL WITH GALVANNEED FINISH.
 - GENERAL DUCTWORK (WHERE SPECIFIED) SHALL BE ROUND, SET BACK FROM WALLS AND CEILING AS SPECIFIED. ALL DUCTWORK SHALL BE INSTALLED WITH EXTERIOR UPPER MEMBER OF ALUMINUM FINISHED POLYESTER FIBER DAMPED TO GLASS WASH.
- AIR DISTRIBUTION:
 - SUPPLY AND RETURN AIR DIFFUSERS SHALL MATCH BUILDING SWIND-AROS AND SHALL BE OF EXPANDED ALUMINUM CONSTRUCTION.
- PROVIDE ACCESS PANELS IN WALLS OR CEILING FOR DAMPERS, CONTROL DEVICES, ETC. ACCESS PANELS SHALL BE W/60% FLUSH THE.
- SUBMIT SHOP DRAWINGS OF ALL MATERIALS, DUCTWORK, DUCTWORK JOINTS, EQUIPMENT & CONTROL SYSTEM FOR REVIEW PRIOR TO INSTALLATION AND/OR FABRICATION. DUCTWORK JOINTS SHOP DRAWINGS SHALL BE PROVIDED AT 1/4" SCALE.
- ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR THE PERIOD OF ONE YEAR FROM 90 DAYS FREE SERVICE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE.
- SUBMIT A COMPLETE "AS-BUILT" RECORD SET IN REPRODUCIBLE PAPER TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FINAL PAYMENT REQUESTION.
- TESTING:
 - BALANCE AIR SYSTEM TO DELIVERS SPECIFIED AIR QUANTITIES AT EACH OUTLET WITHIN BALANCE TOLERANCE. PROVIDE RECORDS AND PROOF TO FINAL INSPECTION AND ACCEPTANCE.
- ALL HVAC EQUIPMENT, AIR DISTRIBUTION, CONTROLS, APPURTENANCES, ETC. SHALL BE AS SHOWN ON THE DRAWINGS WITH RESPECT TO CAPACITY, QUALITY AND PERFORMANCE. ALL EQUIPMENT SHALL BE LISTED ON THE DRAWINGS. QUALITY SUBSTITUTIONS MUST MEET OR EXCEED ALL SPECIFIED REQUIREMENTS. MAKING ACCEPTABLE MANUFACTURERS DOES NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO OBTAIN AND FOLLOW ALL SPECIFICATIONS SHOWN ON THE DRAWINGS OR LISTED HEREIN.
- EQUIPMENT IDENTIFICATION:
 - ALL PIPING 1" IN DIAMETER OR LARGER EXPOSED OR CONCEALED IN ACCESSIBLE SPACES AND CEILING SHALL BE PROVIDED WITH COLOR BANDS. ALL EQUIPMENT SHALL BE IDENTIFIED WITH COLOR BANDS. ALL EQUIPMENT SHALL BE IDENTIFIED WITH COLOR BANDS. ALL EQUIPMENT SHALL BE IDENTIFIED WITH COLOR BANDS. ALL EQUIPMENT SHALL BE IDENTIFIED WITH COLOR BANDS.
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- TEMPERATURE CONTROL SHALL BE A PROGRAMMABLE ROOM THERMOSTAT FOR EACH ROOM AND SHALL BE AS SPECIFIED.
- VIBRATION ISOLATION - ALL EQUIPMENT AS PER MANUFACTURER'S RECOMMENDATIONS TO ELIMINATE ANY EQUIPMENT NOISE FROM BEING TRANSMITTED TO THE BUILDING STRUCTURE.
- COMPONENTS:
 - ALL COMPRESSOR MOTORS ON NEW EQUIPMENT GUARANTEED UNDER THE CONTRACT SHALL HAVE A MIN. 5 YEARS PRODUCT GUARANTEE FROM DATE OF START-UP.
 - CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR THE LIFE OF THE PROJECT.
- ALL CONDENSATE PIPING SHALL BE COPPER PIPE, INSULATE COND. PIPES ABOVE GROUND WITH 1/4" MIN. RADIANT EX INSULATION.
- PROVIDE SMOKE DETECTORS IN SUPPLY AIR UNITS OF A/C UNITS 2000 CFM OR GREATER. SMOKE DETECTORS SHALL BE RATED AS PER DIVISION 16. DUCT INSULATION SHALL BE AS SPECIFIED.
- ACTIVATION OF SMOKE ESTROGERS SHALL BE THROUGH BUILDING FIRE ALARM SYSTEM. COORDINATE INTERFERENCE WITH ELEC. CONTRACTOR.
- FURNISH AND INSTALL FIRE DAMPERS WHERE INDICATED. ON DRAWINGS THESE DAMPERS SHALL BE CO-INSTALLED TO CONFORM TO NFPA 90A, AND UL 555-1984. PROVIDE DUCT ACCESS DOORS FOR ACCESSIBILITY TO THE DAMPERS. FIRE DAMPERS SHALL BEAR UL LABEL AND SHALL PROVIDE TIGHT FREE AREA SPACE PERMANENTLY.
- CONDENSING WATER PIPING AND FITTINGS SHALL BE BLACK IRON SCHEDULE 40. CONDENSING WATER PIPING SHALL BE INSTALLED WITH A MIN. 1% SLOPE TOWARD DRAIN. FITTINGS SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.

HVAC SYMBOL LEGEND:		BTU	AIR HANDLING UNIT
①	THERMOSTAT		
②	DUCT SMOKE DETECTOR		
③	TRANSITION	COND.	CONDENSATE
④	ELBOW W/ TURNING VANES	C.U.	CONDENSING UNIT
⑤	45° BRANCH DUCT TAKE-OFF	CONG.	CONCRETE
⑥	HORIZONTAL FIRE DAMPER	CFM	CUBIC FEET PER MINUTE
⑦	MANUAL VOLUME DAMPER	F.P.M.	FULL LOAD AMPS
⑧	RETURN REGISTER	H.P.	FEET PER MINUTE
⑨	SUPPLY DIFFUSER	H.R.	HORSEPOWER
⑩	RETURN AIR GRILLE	I.N.	INCH
⑪	RETURN AIR DIRECTION	K.W.	KILOWATT
⑫	ROOF W/D. EXH. FAN	LBS.	POUNDS
⑬	AIR FLOW DIRECTION	MAX.	MAXIMUM
⑭	DUCT TURN DOWN	NO.	NUMBER
⑮	DUCT TURN UP	O/A	OUTSIDE AIR
⑯	FLEXIBLE DUCT	NO.	NUMBER
⑰	NEW SUPPLY	R/A	RETURN AIR
⑱	NEW RETURN	REF.	REFRIGERANT
⑲	FIRE DAMPER	R/U.	ROOF/TOP UNIT
⊗	VALVE	S/A	SUPPLY AIR
⊙		TEMP.	TEMPERATURE
⊛		°*	AIR DISTRIBUTION DESIGNATION

SPLIT AC UNIT SCHEDULE		UNIT DESIGNATION
AREA SERVED	ELV. MACH. RA	AHU-1
LOCATION	ELV. MACH. RA	
OPERATING WEIGHT, LBS	23	
DESIGN MANUFACTURER	WILSON/JACOBS	
SEER	13	
REFRIGERANT TYPE	R-410	
TOTAL AIR, CFM	335	
FAN MOTOR HP/F.L.A. (NON-OVERLOAD)	0.99	
ELECTRICAL SERVICE AVAILABLE	208/17/60	
MIN. CHG. AMP	1.2	
MAX. CHG. AMP	1.2	
DESIGN AIR ACROSS COIL, CFM	335	
GRAN TOTAL CAPACITY, MBTU/HR	.95	
TOTAL SENSIBLE CAPACITY, MBTU/HR	.80	
COIL MODEL NO.	80/87	
CL. COIL		
TYPE & THICKNESS	1-A-1"	
QUANTITY AND SIZE	(1)	
FACE VELOCITY, FPM, MAX.		
HEAT COIL TYPE	NONE	
AUXILIARY ELECTRICAL SERVICE AVAILABLE		
HEATER	CO-1	
TYPE OF FAN	PROPPELLER	
FAN F.L.A. - HP, TYP. DB	0.93	
NO. OF COMPRESSORS / TYPE	1/SCROLL	
DESIGN MANUFACTURER	9.3 / 47	
OPERATING WEIGHT, LBS	0-100%	
ELECTRICAL SERVICE AVAILABLE	208/17/60	
MIN. CHG. AMP	1.4	
MAX. CHG. AMP	1.4	
MODEL NUMBER	WILSON/JACOBS	
MO. NO.	3/8"	
LIQUID (IN. OD)	1/4"	

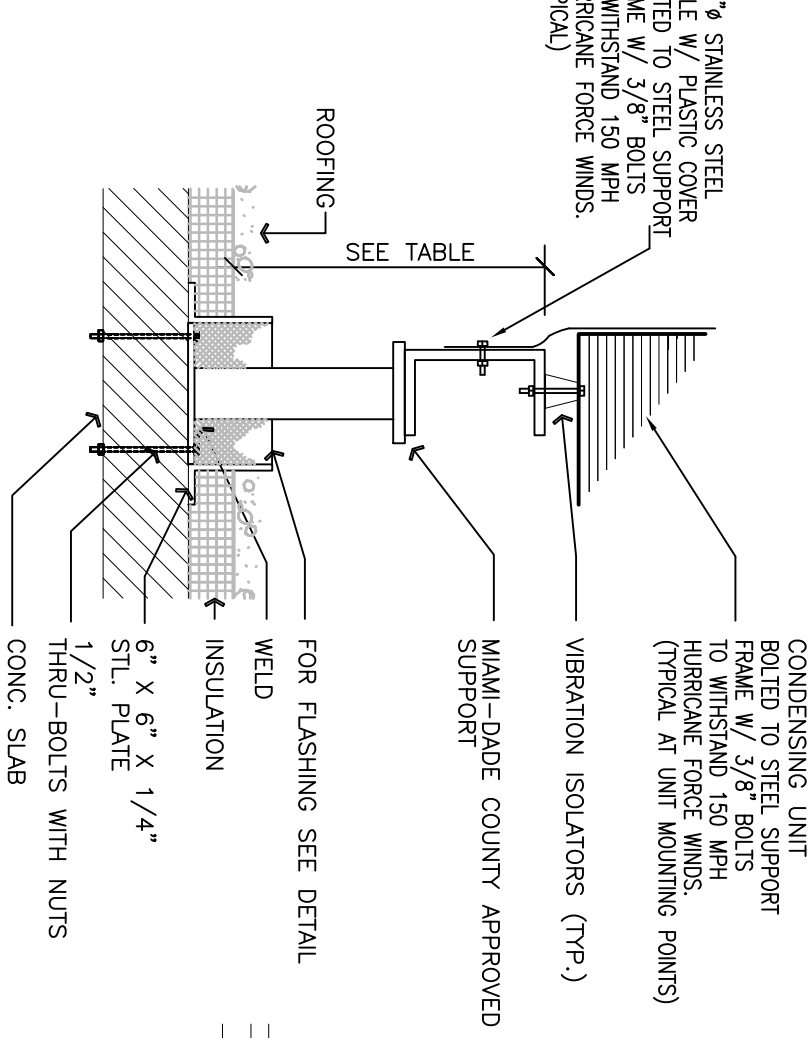
NOTES: 1. THERMOSTAT SHALL BE PROGRAMMABLE TYPE.

HVAC DESIGN REQUIREMENTS:		YES	NO
DUCT SMOKE DETECTOR		X	
FIRE DAMPERS(S)		X	
SMOKE DAMPERS(S)		X	
FIRE RATED ENCLOSURE			X
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY			X
FIRE STOPPING			X
SMOKE CONTROL			X



ROOF TYPE PIPE SUPPORT DETAIL
N.T.S.

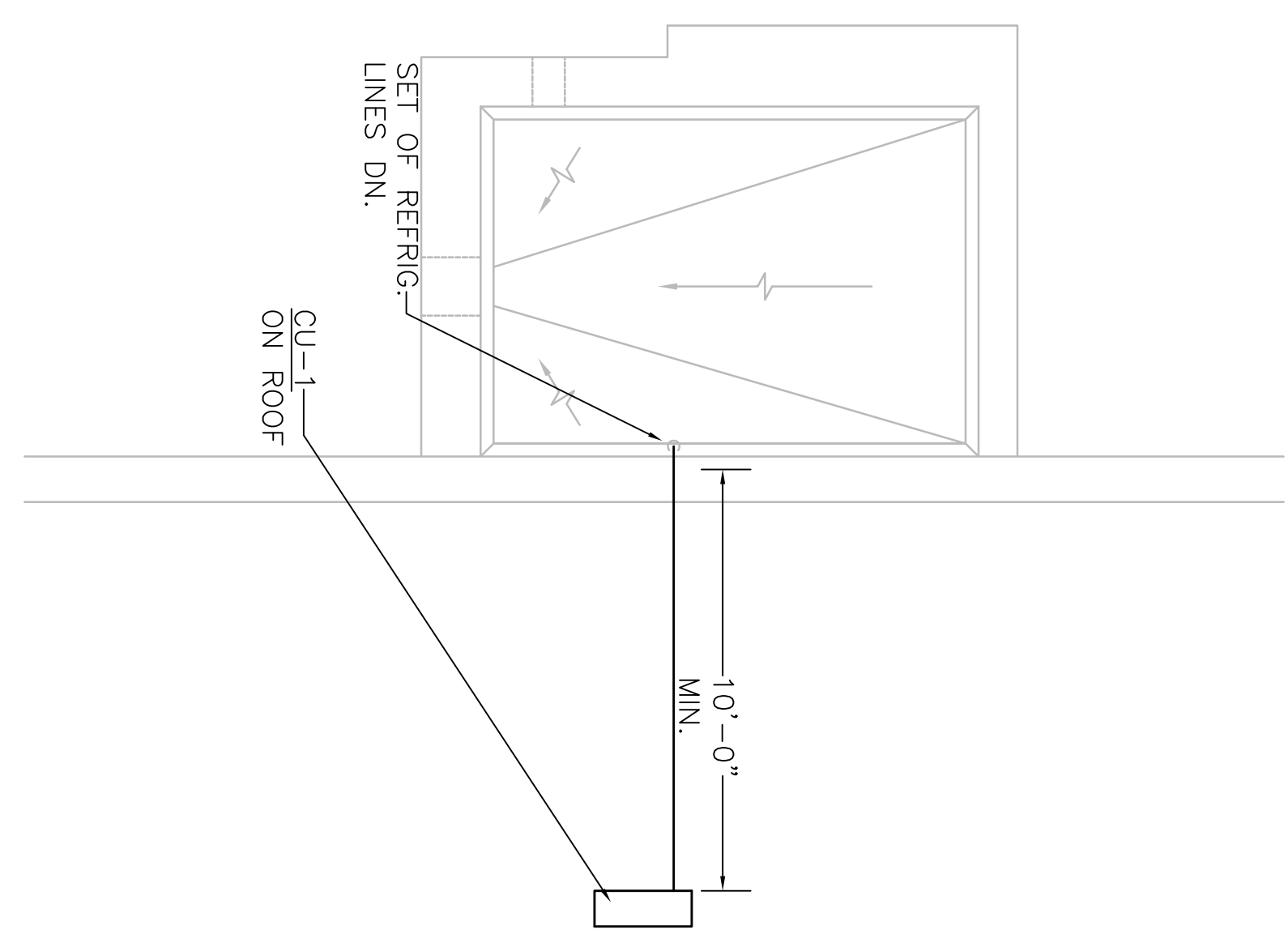
- NOTES: 1 - PROVIDE ROOFING, GUTTERS, DRAINAGE SYSTEMS AND FLASHING AS PER DIVISION 5. 2 - PROVIDE SMOKE PROTECTION AT EACH SUPPORT POINT. 3 - FURNISH ALL STEEL SUPPORTS WITH TWO COATS OF EPDM/ASPHALT FLASHING.



CONDENSING UNIT ROOF MOUNTING DETAIL
N.T.S.

- NOTE: CONDENSING UNIT SUPPORT FRAME SHALL BE AS MANUFACTURED BY PRECISION ALUMINUM PRODUCTS, INC., MIAMI-DADE COUNTY APPROVED BY NON. NO. 02-03-1402 ALUMINUM ALLOY CONSTRUCTION.

ROOF MOUNTED EQUIPMENT HEIGHT REQUIREMENTS		
WIDTH OF EQUIPMENT (INCHES)	HEIGHT OF LESS (INCHES)	
UP TO 24	14	
25 TO 36	18	
37 TO 48	24	
49 TO 60	30	
61 AND OVER	48	



PARTIAL MECHANICAL ROOF PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:
1. CONTRACTOR SHALL CONTACT EXISTING COMPANY HOLDING THE ROOF BOND BEFORE STARTING ANY WORK ON THE ROOF SO THAT THE ROOF WARRANTY WILL BE MAINTAINED.

<p>THE RUSSELL PARTNERSHIP, INC. Architecture • Planning • Interior Design 7428 S.W. 48TH STREET, MIAMI, FL. 33155 Phone (305) 663-7301 Fax (305) 663-5411</p>	<p>DE LEONARDIS YOUTH CENTER RENOVATIONS-PHASE IIA & IIB 1770 NE 162ND STREET, NORTH MIAMI BEACH, FLORIDA 33162 FOR CITY OF NORTH MIAMI BEACH 17050 NE 19TH AVE., NORTH MIAMI BEACH, FLORIDA 33162</p>	<p>CONSULTANTS: JMM Consulting Engineers LLC Certificate Of Authorization #9692 Jose M. Martinez, P.E. #56018 8353 SW 124 St, Suite 108 Miami, Florida 33156 TEL: (305) 255-1621 FAX: (305) 255-1732</p>
<p>SHEET NUMBER M1.02</p>	<p>SHEET NUMBER M1.02</p>	<p>SHEET NUMBER M1.02</p>

SECTION 07220 (07 23 00)

ROOF INSULATION

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Applications of foam board roof insulation, crickets/saddles, cover board, and deck board.

1.2 RELATED SECTIONS

- A. Section 01572-Construction Waste Management.
- B. Section 07550-Modified Bitumen Roofing.
- C. Section 07600-Flashing and Sheet Metal.

1.3 REFERENCES

- A. ANSI Standard S12.60-Acoustical Performance Criteria, Design Requirements and Guidelines for Schools.
- B. ASTM C 518-Standard Test Method for Steady-State Thermal Transmission Properties by Means of Heat Flow Meter Apparatus.
- C. ASTM C 1177/C1177M-Glass Mat Gypsum Substrate for Use as Sheathing.
- D. ASTM C 1289-Standard Specification for Faced Rigid Cellular Polyisocyanurate Thermal Insulation Board.
- E. ASTM D 41-Standard Specification for Asphalt Primer Used in Roofing, Dampproofing, and Waterproofing.
- F. ASTM D 312-Standard Specification for Asphalt Used in Roofing.
- G. ASTM D 1621-Standard Test Method for Compressive Properties of Rigid Cellular Plastics.
- H. ASTM D 3273-Resistance to Growth of Mold on the surface of Interior Coating on an Environmental Chamber.
- I. ASTM E 84-Standard Test Method for Surface Burning Characteristics of Burning Materials.
- J. Florida Building Code (FBC).
- K. GREENGUARD Product Emission Standard for Children & Schools.
- L. International Organization for Standardization (ISO) 14021 – 1999; Environmental Labels and Declarations

Addendum 1

- M. NRCA-National Roofing Contractors Association Roofing and Waterproofing Manual.
- N. Standard Practice for The Testing Of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers, including 2004 Addenda. California Department of Health Services.
- O. Underwriters Laboratory, Inc. (UL): Fire Hazard Classification Rating.

1.4 SUBMITTALS

- A. **Manufacturer's Data:** Submit manufacturer's specifications and installation instructions for roof insulation and required fasteners. Include data substantiating that materials comply with specified requirements.
 - 1. **Low Emitting Materials.**
 - (a) Submit manufacturer's Material Safety Data Sheet Indicating VOC limits of all products.
 - (b) Submit manufacturer's certification that all products comply with Standard Practice for The Testing Of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers, including 2004 Addenda. California Department of Health Services or GREENGUARD Product Emission Standard for Children & Schools.
 - 2. **Recycled Content:**
 - (a) Indicate recycled content; indicate percentage of pre-consumer and post-consumer recycled content per unit of product.
 - (b) Indicate relative dollar value of recycled content product to total dollar value of product included in project.
 - (c) If recycled content product is part of an assembly, indicate the percentage of recycled content product in the assembly by weight.
 - (d) If recycled content product is part of an assembly, indicate relative dollar value of recycled content product to total dollar value of assembly.

1.5 QUALITY ASSURANCE

- A. **Fire Ratings:** Comply with Florida Building Code and Florida Fire Prevention Code for required fire resistance.
- B. **Thermal Conductivity:** Provide thickness required to produce the average R-Value specified. The thickness specified is for the thermal conductivity, k-value at 75 degrees Fahrenheit. Provide adjusted thickness as directed for the equivalent use of material having a different thermal conductivity.
- C. **Roof Slopes at the membrane level for all roof surfaces:**
 - 1. **New Construction:** Ensure not less than 1/4 inch per foot.
 - 2. **Re-Roofing Existing:** Ensure not less than 1/8 inch per foot and confirm code compliance with SBBC Building Department.
 - 3. **Slope Verification (new or existing):** After installation of "dry-in" membrane, Contractor shall employ the services of a licensed Land Surveyor, registered in the State of Florida, to verify that decks with insulation possess a minimum slope as required above.
 - (a) At areas of concrete deck that do not have the minimum required slope, Contractor shall add insulation as required to achieve the required slope.

Addendum 1

- (b) Re-Roofing: Add insulation on a Unit Price basis, as required to maintain the required slope, if this work was not indicated to be included in the lump sum bid.
- 4. Secure Owners approval for special conditions where the above required slopes can not be provided.
- 5. Contractor shall also address areas of ponding in the same manner as above.

1.6 DELIVERY, STORAGE, and HANDLING

- A. Protection from Deterioration: Do not allow insulation materials to become wet or soiled.
- B. Comply with manufacturer's recommendations for handling, storage and protection during installation.

1.7 PROJECT CONDITIONS

- A. Examination of Substrate: Examine the substrate and the conditions under which the insulation work is to be performed. Do not proceed with the insulation work until unsatisfactory conditions have been corrected.

1.8 SPECIAL WARRANTIES

- A. Total System Warranty by manufacturer: Provide manufacturer's Non-Pro Rated 20-year written full warranty, NDL (No Dollar Limit), with a wind rider up to winds equal to the design wind speeds required by the Florida Building Code, in which manufacturer agrees to repair or replace components of roofing system that fail in materials or workmanship within the specified warranty period. Failure includes roof leaks. The warranty shall be a term type, with no conditions, exclusions, including exclusions of remedies by the Owner, deductibles or limitations on coverage amount. Any conditions, exclusions, or limits proposed by the manufacturer must be approved by the Project Consultant and Owner in writing.
 - 1. Roofing System includes, but is not limited to: Roofing membranes (base, inter, and cap plies as applicable), roof insulation (foam and LWIC including EPS board), fasteners, cover and deck boards, accessories, flashing and sheet metal, grounds/nailers, gutters and downspouts, scuttles and vents, curbs, and other components of roofing system.
- B. Total System Warranty by installer: Provide installer's 5-year warranty, in which installer agrees to repair or replace components of roofing system that fail in materials or workmanship with the specified warranty period. Failure includes roof leaks. The warranty shall be a term type, with no conditions, exclusions, exclusions of remedies by the Owner, deductibles or limitations on coverage amount. Any conditions, exclusions, or limits proposed by the installer must be approved by the Project Consultant and Owner in writing. Each Installer shall list which roof system component(s) are covered by them.

PART 2 PRODUCTS

2.1 MATERIALS

Toxicity/IEQ: All roof insulation products are to comply with Standard Practice for The Testing Of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers, including 2004 Addenda. California Department of Health

Addendum 1

Services or GREENGUARD Product Emission Standard for Children & Schools. System must comply with FBC HVHZ Protocols and required product Notice of Acceptance (NOA)-NOA must be submitted to comply with Design Pressures.

2.2 POLYISOCYANURATE INSULATION

- A. Polyisocyanurate Board Insulation: Insulation consisting of a rigid polyisocyanurate foam complying with the following requirements:
 - 1. Type II, felt or glass-fiber mat facer on both sides.
 - 2. Aged R-value at 75 Degrees Fahrenheit mean temperature: R-19 average for the roof deck. R-value must comply with ASTM C 518 and FBC.
 - 3. Compressive Strength: 25 psi minimum under provisions of ASTM D1621.
 - 4. Flame Spread: 25 or less under provisions of ASTM E84.
 - 5. Environmental Requirements: Provide insulation that is ozone-safe, have hydrocarbon (HC) blowing agents, shall be CFC and HCFC free, and complying with ASTM C 1289.
- B. Sizes: Provide manufacturer's standard maximum lengths and widths. Provide in thickness to provide R-values note herein.
- C. Slopes: Provide tapered and flat board insulation at low-slope applications as necessary to provide specified roof slopes.
- D. Manufacturers: Subject to compliance with the specified requirements, provide products by one of the following manufacturers:
 - 1. Atlas Roofing Corporation.
 - 2. Dow Chemical Company.
 - 3. Firestone.
 - 4. GAF Materials Corp.
 - 5. Johns Manville.
 - 6. Rmax Inc.
 - 7. Substitutions: Will be considered by the A/E and Owner when submitted per requirements of Division-0, Division-1, and Section 01630-Product Substitution Procedures.

2.3 COVER BOARD and DECK BOARD

- A. Follow asphalt manufacturer's recommendations when using these boards. System must comply with FBC HVHZ Protocols and required product Notice of Acceptance (NOA)-NOA must be submitted to comply with Design Pressures.
- B. A non-structural glass mat faced, noncombustible, nonstructural, moisture resistant, treated gypsum core roof panel, comply with ASTM C 1177/C1177M.
 - 1. Subject to compliance with the specified requirements, provide products by one of the following manufacturer: Acceptable Manufacturer: Georgia-Pacific; Product: DensDeck Prime Roof Boards.
- C. A multiply, semi-rigid asphaltic roofing substrate board composed of a mineral fortified asphaltic core formed between two asphaltic saturated fiberglass liners.
 - 1. Subject to compliance with the specified requirements, provide products by one of the following manufacturer: Acceptable Manufacturer: Soprema; Product: Sopraboard.
- D. An impact-resistant, nonstructural, specially engineered gypsum and cellulose fiber board with 95 percent recycled content. Uniform water-resistance throughout core

Addendum 1

and surface. Subject to compliance with the specified requirements, provide products by one of the following manufacturers: Flame spread 5, smoke developed 0 when tested in compliance with ASTM E 84. Mold resistance "a perfect 10" when tested in compliance with ASTM D 3273.

1. Subject to compliance with the specified requirements, provide products by one of the following manufacturer: Acceptable Manufacturer: USG Corporation; Product: Securock Roof Board.
- E. Thickness: Deck Board shall not be less than 1/4 inch and Cover Board shall not less than 5/8 inch.

2.4 INSULATION ACCESSORIES

- A. Mechanical Fasteners: Factory-coated steel fasteners and metal or plastic, corrosion-resistant, designed for fastening roof insulation to substrate, and acceptable to roofing system manufacturer, comply with current Miami-Dade County Protocols and Product Acceptance Approvals (NOAs).
- B. Cold Fluid-Applied Adhesive: Manufacturer's standard formulated to adhere roof insulation to substrate, comply with current Miami-Dade County Protocols and Product Acceptance Approvals (NOAs).
- C. Provide preformed saddles, crickets, tapered edge strips, and other insulation shapes where indicated for sloping to drains. Fabricate to slopes indicated.
- D. Blocking and Grounds: Refer to Section 07600-Flashing and Sheet Metal.

PART 3 EXECUTION

3.1 REMOVALS

- A. Structural Concrete Decks: Remove completely all existing roof membranes and insulation materials to structural decks and provide a uniform surface for application of insulation.

3.2 EXAMINATION OF SURFACES

- A. Verify decks and insulation are dry and free of moisture of any form.
 1. Verify proper placement of roof drains and other penetrations.
 2. Verify proper securement of penetrating or roof mounted equipment.
- B. Inspect roof perimeters, edges, penetrations and transitions to vertical surfaces to ensure that blocking and grounds have been installed where appropriate and have been secured to comply with design up-lift pressures.

3.3 PREPARATION

- A. Verify that work done by other trades meet the following requirements:
 1. Roof curbs, blocking and grounds, equipment supports, vents and other items penetrating the roof are properly attached to substrate and otherwise properly prepared.
 2. Concrete surfaces are properly primed and free of fines, edges and voids.

3.4 INSTALLATION

Addendum 1

- A. Comply with manufacturer's written instructions and current Miami-Dade County Protocols and Product Acceptance Approvals (NOAs) for the particular conditions of installation in each case including method of anchorage to the substrate as appropriate for the application indicated. Boards shall be anchored to substrate to withstand the design pressures shown on the Contract Documents. If printed instructions are not available, or do not apply to the project conditions, consult the manufacturer's technical representative for specific recommendations before proceeding with the Work.
- B. Extend insulation full thickness as shown over entire surface to be insulated. Cut and fit tightly around obstructions and fill voids with insulation.
- C. Apply a single layer of insulation of the thickness indicated, or the required thickness for the thermal value indicated, unless otherwise shown or required to make up the total thickness.
- D. Coordinate installing membrane roofing system components so insulation is not exposed to precipitation or left exposed at the end of the workday.
- E. Install tapered insulation under area of roofing to conform to slopes indicated.
- F. Where multiple layers occur, stagger joints of each succeeding layer from joints of previous layer a minimum of 6 inches in each direction.
- G. Installation System Description:
 - 1. Insulation Board: Mechanically fasten to structural concrete decks, mechanically fasten through metal decks, or use cold adhesive; comply with Florida Building Code (FBC) High Velocity Hurricane Zones (HVHZ) Protocols and required product Notice of Acceptance (NOA).
 - 2. Cover/Deck Board: Mechanically fasten to structural concrete decks, mechanically fasten through metal decks, or use cold adhesive, or foam adhesive; comply with FBC HVHZ Protocols and required product Notice of Acceptance (NOA).
 - 3. Deck Board: Install over metal deck with ends/edges fully supported on top of flutes running into the edge.
- H. Adhered Insulation: Install each layer of insulation and adhere to substrate as follows:
 - 1. Set each layer of insulation in a cold adhesive, foam adhesive; comply with FBC HVHZ Protocols and required product Notice of Acceptance (NOA).
- I. Mechanically Fastened Insulation: Install each layer of insulation and secure to deck using mechanical fasteners specifically designed and sized for fastening specified board-type roof insulation to deck type.
 - 1. Fasten insulation to resist uplift pressure at corners, perimeter, and field of roof; comply with FBC HVHZ Protocols and required product Notice of Acceptance (NOA).
- J. Mechanically Fastened and Adhered Insulation: Install each layer of insulation and secure first layer of insulation to deck using mechanical fasteners specifically designed and sized for fastening specified board-type roof insulation to deck type.
 - 1. Mechanically fasten or adhere first layer of insulation to resist uplift pressure at corners, perimeter, and field of roof; comply with FBC HVHZ Protocols and required product Notice of Acceptance (NOA).

Addendum 1

2. Install subsequent layers of insulation in a cold adhesive or foam adhesive; comply with FBC HVHZ Protocols and required product Notice of Acceptance (NOA).
- K. Install cover board over insulation with long joints in continuous straight lines with end joints staggered between rows. Loosely butt cover boards together and fasten to roof deck.
1. Fasten to resist uplift pressures at corners, perimeter, and field of roof; comply with FBC HVHZ Protocols and required product Notice of Acceptance (NOA)-NOA must be submitted to comply with Design Pressures.
- 3.5 CLEANING**
- A. Remove all trash and debris from roof insulation surface prior to the application of the roofing membrane.

END OF SECTION

TREMCO**20 YEAR QA PLUS WARRANTY
FOR NEW ROOFS**

WARRANTY NUMBER: 135450

OWNER: City of North Miami Beach

ADDRESS: 1770 NE 162nd Street, North Miami Beach, FL 33162

BUILDING DESCRIPTION: Allen Park Recreation Center Low Roof & High Roof

ADDRESS: 1770 NE 162nd Street, North Miami Beach, FL 33162

ROOF AREA: 11,500 sq. ft.

DATE OF JOB COMPLETION: May 18, 2010

INSTALLATION PRICE: \$279,898.15

ROOFING SYSTEM: Replacement: POWERply Standard FR

INSTALLATION CONTRACTOR: W T I - Cleveland

ADDRESS: 3735 Green Rd-North Bldg, Beachwood, OH 44122

Tremco Incorporated (hereinafter "Tremco") hereby warrants to the above-named Owner that, subject to the terms, conditions, and limitations stated herein, it will repair leaks and provide the following services to the Owner on the roofing system on the building (hereinafter "TRS") for a period of twenty (20) years from the date of job completion. TRS shall be defined as the weatherproofing assembly and its components, which includes the following: membrane, insulation, flashings, all sheet metal-related details, and termination details as specified by Tremco. The services being offered by Tremco include the following:

A. INSPECTIONS, HOUSEKEEPING AND PREVENTIVE MAINTENANCE

In year two (2), year five (5), year ten (10), and year fifteen (15) of this warranty, Tremco shall provide roof inspections, preventive maintenance, and limited housekeeping services, except as excluded in Section C and Section D, on the TRS. (If a TremCare Service Agreement has been purchased for the TRS in addition to this warranty, these inspections and the related reporting will be carried out as part of the TremCare Service Agreement. The warranty and the TremCare Service Agreement will remain in effect for the warranty period simultaneously.)

Roof inspection services shall include the following:

1. Visual inspection of the roof membrane and roof surface conditions.
2. Inspection of the flashing systems including, but not limited to, the metal edge system, base flashings on equipment and adjoining walls, counterflashings and termination details, soil stacks and vents, and inspection of rooftop projections, and equipment including, but not limited to, pitch pans, HVAC equipment, sky lights, and access hatches.

Roof inspection services do not include:

1. Inspection for water damage or mold growth.
2. Detection or identification of mold.

Preventive maintenance services shall include the following:

1. Metal edge flashing components - tears, splits, and breaks in the membrane flashings will be repaired with appropriate repair mastics and membranes.
2. Tears and splits in the flashing membrane will be repaired with appropriate repair mastics and membranes. Open split flashing strip-ins will be repaired with appropriate repair mastics and membranes. Exposed fasteners will be sealed. Termination bar and counterflashings will be sealed.
3. Roof membrane maintenance repairs - tears, breaks, and splits in the roof membrane will be repaired with appropriate repair mastics and membranes. Splits and blisters which threaten the roof integrity will be cleaned, primed, and repaired with appropriate repair mastics and membranes. Metal projections (hoods and clamps) will be sealed. This warranty does not include recoating of roof membranes.



Quality Assurance Program

Preventive maintenance services do not include:

1. Repairs or maintenance of any building component other than the TRS.
2. Remediation or abatement of mold.

General rooftop housekeeping services shall include the following: Removal of incidental debris. All debris will be disposed of at the Owner's approved on-site location.

B. ROOF INSPECTION REPORTS

Tremco will provide roof inspection reports to the Owner based upon the inspections as defined in paragraph A. The reports shall become part of the roof database maintained on the Tremco TRS. Tremco will be excused from performing under this warranty if prevented or delayed by events not within its control, including events such as floods, fires, accidents, riots, explosions, governmental order, acts or omissions of contractors or other third parties, inability to access the TRS, etc. Roof inspection reports will not address the presence of water damage to any building components other than the TRS or the presence of mold.

C. OWNER'S RESPONSIBILITIES

It is agreed by the parties that Tremco, by this warranty, does not assume possession or control of any part of the TRS. Control and ownership of the TRS and all parts of the building remains solely with the Owner. The Owner is solely responsible for all requirements imposed by any federal, state or local law, ordinance or regulation, and all repair, maintenance, and other work with respect to the TRS and the building, except as expressly stated by this warranty.

Housekeeping and general roof top preventive maintenance does not eliminate or replace the building Owner's responsibility for keeping effluent and debris from the roof surface. Customer production-related materials are excluded as part of the housekeeping services. If scheduled cleaning is insufficient to maintain the roof integrity, Owner must pay for additional cleaning/inspections or assume responsibility for such cleanings. Owner agrees that all debris on or removed from the roof is the sole property of Owner, and it is the sole responsibility of Owner to properly dispose of said debris.

The Owner shall, at all times, exercise reasonable care in the use and maintenance of the TRS.

In order to protect the investment this TRS represents, the building Owner must fulfill his responsibilities as outlined in the attached Owner's Manual. Lack of care and maintenance can have significantly damaging effects on the system's overall performance and is cause for cancellation of this warranty.

Care and maintenance guidelines include, but are not limited to:

- Regular ongoing inspection by the Owner - This will allow for implementation of good housekeeping practices and early detection of problems such as any physical damage.
- Verification that no alterations or unauthorized repairs have been made to the roofing system.

If alterations are being considered, the Owner must notify Tremco in order for the proper authorized follow-up to be completed.

The Owner shall report all leaks which occur in the TRS within the warranty period by contacting Tremco at 1-800-422-1195 and in writing to Tremco Incorporated at 3735 Green Road, Beachwood, Ohio 44122, as soon as possible (however, in no event more than thirty (30) days) after leakage is or should have been discovered. Immediate repair of leaks is critical to prevent water damage and mold growth. In no event is Tremco responsible for any repairs to any part of the building other than the TRS. The liability or expense for such repair is to be assumed and paid by the Owner. If the leak is not within the coverage of this warranty, Tremco shall advise the Owner, and the Owner shall have repairs performed within thirty (30) days according to Tremco specifications by a Tremco certified or approved applicator. The Owner agrees to provide Tremco with unrestricted ready access to the TRS and all areas of the building on which the TRS is located.

D. WARRANTY EXCLUSIONS

This warranty does not cover any leaks or damage or failure of the TRS or any part thereof as a result of:

1. Natural or accidental disasters including, but not limited to, damage caused by lightning, hailstorms, floods, hurricane force winds (74 mph or greater), tornadoes, earthquakes, fire, vandalism, animals, penetration of the membrane, or chemical attack by outside agents.
2. Use of materials not specified by Tremco, or unauthorized repairs to the TRS.
3. Any intentional or negligent act on the part of the Owner or any third party including, but not limited to, misuse, traffic, storage of or discharge of materials or effluent on the roof. Any repair of these items will be at Owner's expense.
4. Distortion, expansion or contraction of the TRS caused by faulty original construction or design of building components including parapet walls, copings, chimneys, skylights, vents or roof deck, or lack of positive, proper, or adequate drainage resulting in ponding water on the roof.

E. WARRANTY LIMITATIONS

Tremco shall have no responsibility and or liability under this warranty until all bills for installation, supplies, and services sold in connection with the TRS have been paid in full.

The Owner's rights under this warranty are specific to the Owner and are not transferrable.

Tremco's obligations under this warranty may be voided by Tremco based on any of the events described in Section D, change in Usage of the building without the prior written approval of Tremco, repairs, alterations, penetrations of or attachments to the TRS without the prior written approval of Tremco, building settlement, deterioration, cracking or failure of the roof deck, coping and parapet walls, infiltration or condensation of moisture in, through or around walls, copings, underlying structure, hardware or equipment, or failure of the Owner to comply with its obligations described in this warranty.

F. OTHER TERMS

THIS WARRANTY IS IN LIEU OF ANY AND ALL OTHER WARRANTIES, OBLIGATIONS OR AGREEMENTS, EXPRESSED OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR ANY PARTICULAR PURPOSE, AND ANY RIGHTS OR REMEDIES AGAINST ANY PERSON OR ENTITY UNDER THE UNIFORM COMMERCIAL CODE OR OTHERWISE WITH RESPECT TO THE SALE OF GOODS AND/OR SERVICES. THE REMEDIES AND OBLIGATIONS STATED IN THIS WARRANTY ARE THE SOLE AND EXCLUSIVE REMEDIES OF AND OBLIGATIONS TO THE OWNER FOR ANY AND ALL MATTERS ARISING WITH RESPECT TO OR IN ANY WAY CONNECTED WITH THE TRS, OR ITS COMPONENT PRODUCTS, OR ANY GOODS OR SERVICES RELATED THERETO, REGARDLESS OF THE SOURCE OR PROVIDER OF SUCH GOODS OR SERVICES. THE OWNER SHALL PROVIDE WAIVERS OF SUBROGATION UPON REQUEST. NO REPRESENTATIVE OF TREMCO INCORPORATED, OR ANY EMPLOYEE, AGENT OR AFFILIATED COMPANY ("AFFILIATE") HAS AUTHORITY TO VARY OR ALTER THESE TERMS. IN NO EVENT SHALL TREMCO INCORPORATED OR ANY AFFILIATE BE LIABLE FOR ANY DAMAGE TO THE BUILDING ITSELF (OTHER THAN THE TRS), THE CONTENTS OF THE BUILDING, OR ANY OTHER SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES. THE TOTAL LIABILITY OF TREMCO INCORPORATED, AND ANY AFFILIATE OVER THE LIFE OF THE WARRANTY, SHALL NOT IN ANY EVENT EXCEED IN DOLLAR VALUE THE INSTALLED CONTRACT PRICE OF THE TRS AS IT APPEARS ABOVE, AND THIS TOTAL LIABILITY SHALL BE PRO-RATED ON A STRAIGHT LINE BASIS OVER THE LIFE OF THE WARRANTY, AND TREMCO'S LIABILITY SHALL NOT EXCEED SUCH PRO-RATED AMOUNT. NEITHER TREMCO INCORPORATED OR ANY AFFILIATE SHALL BE LIABLE FOR ANY DAMAGES WHICH ARE BASED UPON NEGLIGENCE, BREACH OF WARRANTY, STRICT LIABILITY OR ANY OTHER THEORY OF LIABILITY OTHER THAN THE EXCLUSIVE LIABILITY SET FORTH IN THIS WARRANTY.

The Owner agrees that this warranty, and the services and remedies set forth herein, are exclusive, and there are no other warranties between the Owner and Tremco or any affiliate. Any unresolved issues under this warranty shall be submitted to the exclusive jurisdiction of the courts of Cuyahoga County, Ohio, and governed by Ohio law.

TREMCO INCORPORATED
ROOFING & BUILDING MAINTENANCE DIVISION

By: Julie Grubbski

Title: Warranty Administrator

Date: June 7, 2010

TremCare®

**TREM CARE® GOLD SERVICE AGREEMENT**

SERVICE AGREEMENT NO: 135450

OWNER: City of North Miami Beach
ADDRESS: 17050 NE 19th Avenue
 North Miami Beach, FL 33162

BUILDING DESCRIPTION: Allen Park Recreation Center
 - High & Low Roofs
ADDRESS: 1170 NE 162nd Street
 North Miami Beach, FL 33162

ROOF AREA: 11,500 Square Feet

ROOF SECTIONS: 2

ROOF SYSTEM TYPE: Powerply Standard FR

EFFECTIVE DATE OF SERVICE AGREEMENT: May 18, 2010

Weatherproofing Technologies, Inc. ("WTI"), a subsidiary of Tremco Incorporated, and the above-named Owner hereby agree that subject to the terms, conditions and limitations stated herein, WTI will provide the Owner with services on the Roofing System ("RS") as identified herein (collectively "Services") for a period of 5 years (the "Term"). At the end of the Term, the Agreement will automatically terminate, unless extended in writing by WTI. For purposes of this Agreement, RS is defined as the external portions of the roof surface at the above facility, including the membrane, flashings and termination details. In the event the actual square footage or the number of roof sections as determined by WTI during its first inspection exceed the approximations listed above by more than ten (10) percent, WTI reserves the right to increase the Service Agreement Price to reflect the additional work necessary to perform the Services.

A. INSPECTIONS, PREVENTIVE MAINTENANCE AND HOUSEKEEPING

The Services under this Agreement are designed to assist the Owner in protecting, maintaining and extending the useful life of its RS. Services include roof inspections, preventive maintenance and general housekeeping which will be delivered on an annual basis during the term of this Agreement on a schedule to be agreed upon by WTI and the Owner. If a Tremco Warranty on the RS is in effect, Services and/or warranty inspections may, at WTI's discretion, be carried out simultaneously.

1 of 5

**TREMCO**

Weatherproofing Technologies, Inc.
 3735 Green Road • Beachwood, Ohio 44122 • 216-292-5000

1. Roof Inspections

A. Roof Inspections consist of the following:

- Visual inspection of the roof membrane and roof surface conditions.
- Inspection of the flashing systems including, but not limited to, the metal edge system, base flashings on equipment and adjoining walls, counterflashing and termination details, soil stacks and vents, and inspection of roofing details for rooftop projections and equipment such as pitch pans, HVAC equipment, skylights and access hatches.

B. Roof Inspections do not include:

- Inspection for internal or latent water damage or mold growth.
- Detection or identification of mold or other latent conditions.

2. Preventive Maintenance (NOTE: Preventive does not include extensive repairs or restoration of a deteriorated roof intended to improve its condition to a maintainable roof. If such extensive repairs are necessary, you will be made aware of what is needed to be done to bring the individual roof to a maintainable condition.)

A. Preventive Maintenance consists of the following repairs and maintenance:

- Flashing components and details – Patch minor flashing defects and kick holes, reinforce open flashing laps, seal open metal edge laps and open flanges within reason, seal open coping joints, seal expansion joint laps, re-secure and/or seal intermittent fasteners that have backed out, top off pitch pans, caulk storm collars and reseal intermittent voids in termination bar and counterflashing. Owner will be advised of any extensive repairs required.
- Roof membrane – Repair intermittent splits, tears, open laps and breaks in the membrane. If extensive repairs are required, Owner will be advised. Patch any fractured blisters or those in danger of fracture due to traffic. If extensive repairs are required, owner will be advised.
- Drains, Gutters and Scuppers – Tighten drain bolts and clamping rings (if possible). Owner will be advised of missing drain strainers. Repair strip-in around drains and scuppers, re-secure gutters and seal open gutter joints.

B. Preventive Maintenance does not include:

- Repairs or maintenance of any building component other than the RS.
- Remediation, detection or abatement of mold.
- Recoating or other significant repair to, or replacement of, the roof membrane.

3. General Rooftop Housekeeping

A. General Rooftop Housekeeping consists of the following:

- Removal of debris (i.e., leaves, branches, paper and similar items) from the roof membrane and drainage areas.
- Disposal of debris will be at the Owner's approved on-site location.

B. General rooftop housekeeping does not include removal of obsolete HVAC components, any construction materials left by other trades and other equipment left on the roof.

The Services do not include extensive repairs, restoration or replacement of a deteriorated roof, such as recoating or resurfacing of the flood coat or the reflective coat of the RS. If such steps are necessary, WTI will notify the Owner with recommendations to replace or bring the roof to a maintainable condition, as appropriate. Major roof repairs and replacements are within the product and service offerings WTI and its affiliated companies provide, and can be arranged under separate contract with WTI, but are not included in the Service Agreement Price.

B. ROOF INSPECTION REPORTING

WTI will provide the Owner with reports from the roof inspections performed under this Agreement. The reports will be provided through OLI[®] (on-line information database), which the Owner and its authorized representatives can access as described herein.

The data available on the OLI[®] Windows-based application is accessible through the following minimum requirements: Windows operating system (XP or later), Pentium III processor, 256 MB RAM, 250 MB free hard drive space and high-speed internet access (DSL, cable modem, etc.). Use of OLI[®] is subject to an on-line OLI[®] License Agreement, the terms and conditions of which are incorporated herein by reference and available upon request.

Roof inspection reports will not address the presence of water damage to the building or any building component other than the RS and will not address the presence of mold or other latent conditions.

C. STORM REPORTS

Upon notification and request by the Owner, WTI will provide one roof inspection and a corresponding report per year after a major storm at no additional charge to the Owner. In order to qualify for the no-charge inspection and report, the Owner must notify WTI of the storm within twenty-four hours of its occurrence. A no-charge storm inspection and report may, at WTI's option, be combined with the planned inspection(s) in the event a major storm occurs within sixty (60) days prior to the planned inspection.

D. LEAK RESPONSE PROGRAM

In the event of any leak through the RS, the Owner shall, within 24 hours of when a leak is or reasonably should have been discovered, call 1-800-5-TREMCO and report the roof leak, location, Owner's site contact representative, leak severity and any other information which may be reasonably requested by or useful to WTI in responding to the leak. WTI will, within 48 hours, respond to the reported leak to assist the Owner in identifying the source of the leak. The Owner agrees to provide WTI with access to the RS and all areas of the building necessary to access the RS. If a reported leak through the RS is confirmed, WTI will make any repairs that are immediately necessary and charge the Owner at standard rates, unless otherwise instructed in writing by the Owner prior to the site visit. If Owner operates under a purchase order system, proper purchase order information for said billing must be provided by customer at time of leak call. If purchase order is not provided at the time the leak is reported, Owner agrees to arrange for payment of leak invoice per terms cited in this agreement.

The price of the Services under this Agreement does not include leak repairs, unless the Owner's RS is a WTI Roofing System and the leak is covered under a Tremco QA Warranty that is still in effect. In all other instances, WTI or its subcontractors can be retained by the Owner under separate contract to perform leak repairs at rates that vary depending upon the nature and extent of the leaks. WTI reserves the right to charge Owner for responding to and inspecting building leaks that are not covered under a Tremco Warranty or this Agreement, including building leaks through windows, HVAC units, walls or other components unrelated to the RS, at WTI's standard rates then in effect and Owner agrees to pay such charges on a net 30 day basis from the date of invoice.

If leaks have been reported through the above 1-800 number, a leak activity report is available to the Owner through OLI[®]. These reports will provide the following:

1. Overview of leak call.
2. Response time for each call.
3. Overview of work completed.

E. OWNER'S RESPONSIBILITIES

The Services are meant to assist the Owner in monitoring its roofing assets. Services do not relieve the Owner of its own responsibilities for roof care and maintenance and to otherwise follow good roofing practices. Removal of chemical or other manufacturing or industrial pollution and discharge is the sole responsibility of the Owner and is expressly excluded from the Services under this Agreement. Additionally, if scheduled cleaning outlined in this Agreement is insufficient to maintain the roof integrity, the Owner will be notified and will be responsible for additional cleaning/inspections at Owner's cost. Owner agrees that all debris on or removed from the roof is the sole property of Owner and Owner shall have the sole responsibility for its proper disposal.

Owner understands and agrees that WTI does not assume or accept ownership, possession or control of any part of the RS or the Owner's facility, all of which shall remain exclusively with the Owner. The Owner is solely responsible for all requirements imposed by any federal, state or local law, ordinance or regulation, third-party warranties, and for all repair, maintenance and other work relating to the RS and the Owner's facility, other than as expressly covered by this Agreement. The Owner shall at all times exercise reasonable care in the use and maintenance of the RS and otherwise follow good roofing practices.

If the Owner does not immediately report leaks in accordance with the Section D of this Agreement, WTI has no responsibility to perform the Services described herein. In no event is WTI responsible for any repairs to any part of the Owner's building other than the RS as described herein. The liability and expense associated with such building repairs shall remain at all times with the Owner.

Owner hereby acknowledges that to the extent Owner's RS is a Tremco Roof System covered under a QA Warranty that is still in effect, nothing in this Agreement is intended to alter or modify any portion of the QA Warranty, including without limitation the Owner's repair, maintenance or other obligations described therein.

Owner's failure to comply with its responsibilities under this Agreement shall constitute grounds for WTI's immediate termination of this Agreement upon written notice to Owner.

F. SERVICE AGREEMENT EXCLUSIONS AND LIMITATIONS

This Service Agreement does not cover leak repairs. It also excludes any repair of damage to the RS caused, in whole or in part, by any of the following:

1. Natural disasters/occurrences or Acts of God, including but not limited to, damage caused by lightning, hailstorms, floods, gale force winds (34 mph or greater), tornadoes, earthquakes, fire or animals.
2. For those RS under separate Tremco Warranty, any use of materials not specified by WTI, unauthorized repairs, or failure to comply with Warranty terms.
3. Any intentional or negligent act on the part of the Owner or third party including, but not limited to, misuse or abuse of the RS, storage of or discharge of materials, chemicals or effluent on the roof, penetration of the RS, or failure to follow good roofing practices.
4. Faulty original construction or design of non-RS building components, including parapet walls, copings, chimneys, skylights, vents or roof deck.
5. Any condition in the RS not reasonably discoverable from WTI's initial visual inspection and not covered under any separate Tremco Warranty.
6. Building settlement, deterioration, cracking or failure of any component of the roof other than the RS, including but not limited to, water infiltration or condensation of moisture in, through or around walls, copings, underlying structure, hardware or equipment.

G. OTHER TERMS

WTI shall issue its invoice upon effective date of agreement. Full payment is due within thirty (30) days of invoice. The Owner's rights under this Service Agreement are specific to the Owner and are not assignable or transferable without the express written permission of WTI. WTI reserves the right to withhold services and/or terminate this Agreement in the event WTI invoices for services are not timely paid in full.

Each party has the right to cancel this Agreement, with or without cause, upon thirty (30) days written notice to the other party. In the event of termination of this Agreement by WTI without cause, Owner may be eligible for a refund of a pro-rated portion of the Service Agreement Price paid to WTI. WTI will determine the amount of the refund, if any, by subtracting WTI's usual and customary charges for Services provided prior to termination (as of the date such Services were completed) from the Service Agreement Price received by WTI.

WTI will be excused from performing under this Agreement if prevented or delayed by events not within its control, including, without limitation, events such as floods, fires, accidents, riots, explosions, governmental order, acts or omissions of contractors or other third parties and/or inability to access the RS.

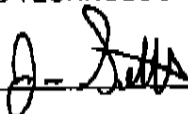
IN NO EVENT SHALL WTI OR ANY AFFILIATE BE LIABLE, WHETHER IN CONTRACT, STRICT LIABILITY, TORT OR OTHER THEORY OF LIABILITY, FOR ANY INDIRECT, SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES OF ANY KIND IN CONNECTION WITH THE SERVICES, INCLUDING, BUT NOT LIMITED TO, LIABILITY FOR DAMAGE TO THE OWNER'S BUILDING, CONTENTS OF THE BUILDING, LOSS OF PROFITS, LOSS OF RENTS, OR LOSS OF USE OF ANY EQUIPMENT OR PROPERTY. THE TOTAL AGGREGATE LIABILITY OF WTI OR ANY AFFILIATE UNDER OR IN CONNECTION WITH THIS AGREEMENT OR THE SERVICES SHALL NOT IN ANY EVENT EXCEED THE SERVICE AGREEMENT PRICE. THIS MAXIMUM LIABILITY SHALL BE PRO-RATED ON A STRAIGHT LINE BASIS OVER THE LIFE OF THE SERVICE AGREEMENT, AND SHALL NOT EXCEED SUCH PRO-RATED AMOUNT.

THE OWNER HEREBY GIVES PERMISSION TO WTI AND ITS SUBCONTRACTORS TO INSPECT, MAINTAIN AND REPAIR THE RS. UNDER NO CIRCUMSTANCE SHALL THE OWNER MAKE ANY CLAIM THAT THE PERFORMANCE OF THE SERVICES BY WTI OR ITS SUBCONTRACTORS HAS CAUSED ANY MANUFACTURER'S ROOFING SYSTEM WARRANTY TO BECOME VOID OR VOIDABLE AND SHALL DEFEND WTI AND ITS SUBCONTRACTORS FROM ANY SUCH CLAIM.

This Agreement is the sole and exclusive agreement between the parties with regard to the Services and this document supercedes and replaces any prior verbal or written discussions, agreements or negotiations between them regarding the Services. Any disputes related to this Agreement shall be submitted to the exclusive jurisdiction of the state and/or federal courts of Cuyahoga County, Ohio and shall be governed by Ohio law, without regard to choice of law principles.

The Owner and WTI hereby agree to the terms, conditions and limitations as set forth herein this Service Agreement.

WEATHERPROOFING TECHNOLOGIES, INC.

By: 

Title: Business Manager

Date: June 10, 2010